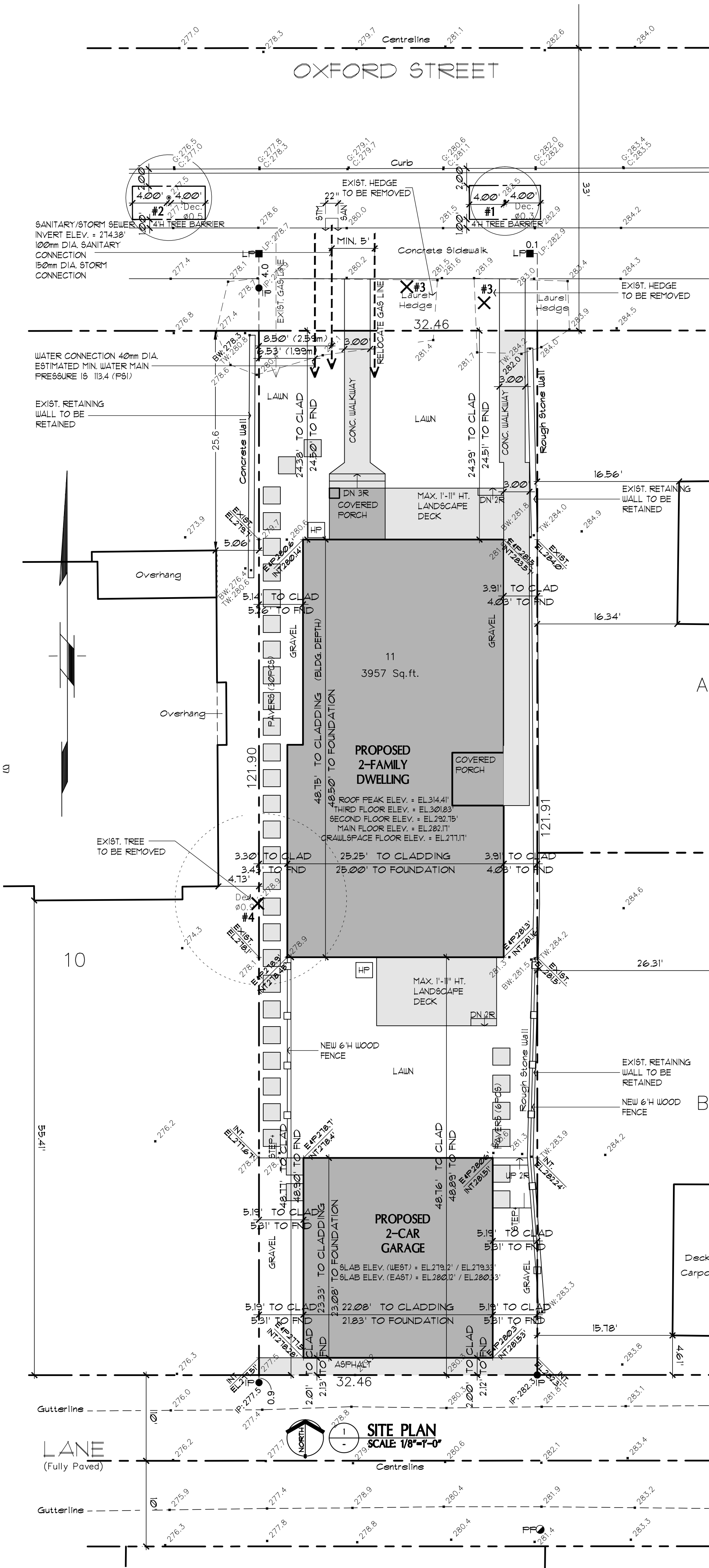




PROPOSED TWO FAMILY DWELLING WITH 2-CAR GARAGE

3674 OXFORD STREET, VANCOUVER, BC

PROJECT CONTACTS:

OWNER/TENANT :	DESIGNER :	SURVEYOR :	STRUCTURAL :	CERTIFIED ENERGY ADVISOR :	ARBORIST :
	DWG DESIGN WORK GROUP LTD. CONTACT: FEGGIE YUEN UNIT 203, 5066 KINGSWAY BURNABY, B.C. V5H 2E1 TEL: 604.681.8152 FAX: 604.681.8152 EMAIL: pyuen@designworkgroup.biz	KEN K. WONG AND ASSOCIATES B.C. LAND SURVEYOR CONTACT: STEVE WONG BCL6 5624 EAST HASTINGS STREET BURNABY, B.C. V5B 1R4 TEL: 604.294.8881 EMAIL: wong.associates@shawbiz.ca			

CITY STAMPS:

3'-0" CLEAR FIREFIGHTING ACCESS TO BE MAINTAINED AT ALL TIMES. NO PROJECTIONS INCLUDING SERVICE/UTILITY CONNECTIONS PERMITTED IN THE DESIGNATED 3'-0" PATH

LANDSCAPE IRRIGATION REQUIRED: BACKFLOW PREVENTION AND AN UNOBSTRUCTED SHUT-OFF VALVE. ADDITIONALLY, WHERE WATER SUPPLY PRESSURE EXCEEDS 550 KPA, A PRESSURE REDUCING VALVE IS REQUIRED. REFERENCE: VEBL BOOK 1 SECTION 10.3.1.4

PER VEBL 2019 9.10.5.4(1) AND 9.10.5.5(9) 4 (10) 4 (13), IF LIMITING DISTANCE IS LESS THAN 12M (39.4') BUT NOT LESS THAN 1M (3.28') ROOF SOFFITS SHALL NO OPENING, AND THE EXPOSING BUILDING FACES MAY BE CONSTRUCTED WITH A WOOD STUD WALL THAT MEETS THE FOLLOWING REQUIREMENTS:
-ONE HOUR FIRE RESISTANCE RATING
-FILLED WITH NON-COMBUSTIBLE INSULATION
-NON-COMBUSTIBLE CLADDING
-TEMPERED, WIRED OR LAMINATED GLASS OR GLASS BLOCK TO BE USED FOR ALL GLAZING OPENINGS

ELECTRIC VEHICLE OUTLET BOX TO BE INSTALLED IN THE PARKING AREA

PUBLIC SEWER AND WATER CONNECTION INFORMATION

3674 OXFORD ST.



ENGINEERING DEPARTMENT
Water, Sewer, & Green Infrastructure
Sewer & Drainage Design Branch

PUBLIC SEWER AND WATER CONNECTION INFORMATION

SEWER INFORMATION

This site plan shows the locations, sizes and invert elevations of the public storm and sanitary sewer connections. Plumbing fixtures are restricted as follows:

- All sanitary fixtures (including floor drains) with rim elevations below 85.151 m (geodetic) or 279.367 ft (geodetic) must be protected (see Fixture Restriction Guidelines Update attached).
- All storm fixtures with rim elevations below 85.151 m (geodetic) or 279.367 ft (geodetic) must be protected (see Fixture Restriction Guidelines Update attached).

Water Information

This site plan shows the location and size of the public water connection. The estimated minimum water main pressure is: 113.4 (psi)

NOTES

- The City of Vancouver does not guarantee the accuracy of the information provided on this Plan and circumstances may prevent the City from installing the public sewer and/or water connections at the locations and depths shown on this Plan.
- The Owner is responsible for locating and connecting to the public sewer and water connections installed by the City regardless of their actual installed locations and depths.
- The Owner is responsible for ensuring that the sizing of the private plumbing system is adequate for the storm & sanitary sewer discharges and the domestic & fire water flows.
- No person shall connect a building sewer or water system to a public connection without first obtaining a "Public Sewer & Water Connection Permit".
- All revisions related to the sewer and water information on this site plan must have Engineering review and acceptance prior to making the change(s). Any requests for changes after a City crew has arrived at the site may cause installation delays and additional costs.

ZONING SUMMARY:

PROPOSAL:	TWO FAMILY DWELLING WITH 2-CAR GARAGE				DUPLEX	
CIVIC ADDRESS:	3674 OXFORD STREET VANCOUVER BC				ZONE:	RS-1
LEGAL ADDRESS:	LOT 11 OF LOT 10 TOWN OF HASTINGS SUBURBAN LANDS PLAN 1591					
EXISTING HOUSE BUILT:	1926					
LOT SIZE:	3957.00 SF	NORTH PL 32.46	WEST PL 121.90	SOUTH PL 32.46	EAST PL 121.91 (FT)	
BLDG:	MINIMUM	MAXIMUM		PROPOSED		
4.1 SITE AREA:						
LOT AREA:	3595.15 SF	5500.00 SF		3957.00 SF		
LOT WIDTH:	32.15 FT			32.46 FT		
4.3 HEIGHT:						
HEIGHT:		35.10 FT		<35.1 FT		
NO. STOREY:		2.50 STOREY		2.50 STOREY		
4.4 FRONT YARD:						
20%:	WEST PL 24.38	EAST PL 24.38 (FT)		WEST PL 24.38		EAST PL 24.39 (FT)
AVERAGE:	21.58 FT					
4.5 SIDE YARD:						
% OF SITE WIDTH = (SITE WIDTH (M)/1.219)/5	3.12	3.12 (%)				
MIN 10% TO MAX 20%	3.25	3.25 (FT)		3.30		3.91 (FT)
4.6 REAR YARD:						
40%:	WEST PL 48.76	EAST PL 48.76 (FT)		48.77		48.76 (FT)
4.7 FSR:						
FSR:		2855.07 SF (+2% & MECH RM.)		2855.04 SF		
		2789.90 SF (70%)		1150.02 SF		
		FSR:		2855.04 SF		
		MAIN FLOOR AREA:		1187.02 SF		
		SECOND FLOOR AREA:		518.00 SF		
		THIRD FLOOR AREA:				
		SLEEPING PORCH:		172.02 SF		
		COVERED PORCH/DECK:		76.00 SF		
		OPEN DECK:		0.00 SF		
		TOTAL DECK:		248.02 SF		
TOTAL DECK:		360.09 SF (13%)				
COVERED PORCH CLG. HT.:		10.17 FT		8.77 FT		
OPEN DECK:		221.59 SF (8%)		0.00 SF		
4.8 SITE COVERAGE:						
SITE COVERAGE:		1780.65 SF (45%)		1741.30 SF		
IMPERMEABLE AREA:		2374.20 SF (60%)		2374.10 SF		
4.16 BUILDING DEPTH:						
BLDG DEPTH 40%:		WEST PL 48.76	EAST PL 48.76 (FT)	48.75 FT		
ACCESSORY BLDG:	MINIMUM	MAXIMUM		PROPOSED		
PARKING STALL AREA:	2 for Duplex 3 if have sec suite	516.68 SF		515.28 SF		
SLOPE ROOF HEIGHT:		15.09 FT		<15.09 FT		
WIDTH:		25.97 FT (80% OF WIDTH)		22.08 FT		
LANE WIDTH	15.00 FT			20.00 FT		

This drawing is an instrument of service and remains the property of DWG Design Work Group Ltd. All information shown on this drawing is copyright material and is for use on the named project only. Information contained herein may not be used or reproduced in any way without written permission. All approved reproductions of this drawing shall bear the designated firm names.

Drawings shall not be scaled. The Contractor shall verify and be responsible for all dimensions, datum and elevations pertinent to executing the work. Discrepancies and variations shall be reported to the Designer before work is performed. In all cases the latest version of the contract documents shall be used on site. The contractor shall ensure all previous versions are marked "Superseded" with reference to a revision number. All work shall conform to the current local Building Code, jurisdictional codes and local ordinances.

Do not construct with the information shown on this drawing until it is noted "Issued for Construction".

DATE	REMARKS / ISSUES	NO.

DWG
DESIGN WORK GROUP LTD.

Suite 203, 5066 Kingsway
Burnaby, BC V5H 2E7
T/F: 604.681.8152
info@designworkgroup.biz
www.designworkgroup.biz

PROJECT

PROPOSED TWO
FAMILY DWELLING
AND 2-CAR GARAGE

3674 OXFORD STREET
VANCOUVER

B.C.

DRAWING TITLE

SITE PLAN & PROJECT SUMMARY

DRAWN BY DATE MAR/2023

CHK'D BY JOB No.

DESIGN DRAWINGS No.

CHK'D

SCALE AS SHOWN

A1

- BLDG TO BE FULLY SPRINKLERED TO NFPA 13D
- CARBON MONOXIDE ALARM AND PHOTO ELECTRIC INTERCONNECTED SMOKE ALARM
 - EXHAUST FAN
 - FLOOR DRAIN
 - ROOF DRAIN

SG = TEMPERED/LAMINATED SAFETY GLASS

NOTE: ALL EXTERIOR DIMENSIONS ARE TO OUTSIDE PLYWOOD SHEATHING OR CONC. FOUNDATION WALL. OVERALL DIMENSIONS ARE TO FACE OF CLADDING. ALL INTERIOR DIMENSIONS ARE TO FACE OF FINISH WALL.

AS PER VCBL 2019 REQUIREMENTS FOR STAIRS, HANDRAILS AND GUARDS TO COMPLY WITH ENTIRE SECTIONS OF 9.8.7, HANDRAILS AND 9.8.8, GUARDS

- RISE BETWEEN 125MM, 200MM (4.92", 7.87")
- RUN BETWEEN 255MM, 355MM (10.04", 13.98")
- MINIMUM 865MM (2'-10") LANDING/STAIRS WIDTH FOR LUH
- MINIMUM 914MM (3'-0") LANDING/STAIRS WIDTH FOR 1-2 FAMILY DWELLING
- MINIMUM 1250MM (6'-5") HEADROOM FOR STAIRS AND LANDING

AS PER VCBL 2019 9.10/9.3.1(1) SMOKE ALARMS SHALL BE INSTALLED SO THAT:

1) WITHIN DWELLING UNITS, SUFFICIENT SMOKE ALARMS SHALL BE INSTALLED SO THAT:

A) THERE IS AT LEAST ONE SMOKE ALARM INSTALLED ON EACH STOREY INCLUDING BASEMENTS, AND

B) ON ANY STOREY OF A DWELLING UNIT CONTAINING SLEEPING ROOM, A SMOKE ALARM IS INSTALLED

1) IN EACH SLEEPING ROOM, AND

1) IN A LOCATION BETWEEN THE SLEEPING ROOMS AND THE REMAINDER OF THE STOREY, AND IF THE SLEEPING ROOMS ARE SERVED BY A HALLWAY, THE SMOKE ALARM SHALL BE LOCATED IN THE HALLWAY.

2) A SMOKE ALARM REQUIRED BY SENTENCE (1) SHALL BE INSTALLED IN CONFORMANCE WITH CANULC-5953, "INSTALLATION OF SMOKE ALARMS."

3) SMOKE ALARMS REQUIRED IN ARTICLE 9.10/9.3.1 AND SENTENCE (1) SHALL BE INSTALLED ON OR NEAR THE CEILING.

AS PER 2019 VCBL & 2019 BUILDING BYLAW 3.8.5.2 & 9.5.5.1

- INTERIOR DOORS TO BE PROVIDED A MINIMUM CLEAR OPENING OF (2'-10")
- EXTERIOR DOORS TO BE MINIMUM (3'-0")

CARBON MONOXIDE ALARMS WILL BE REQUIRED AS PER 9.32.4.2.

THE MECHANICAL EQUIPMENT IN THE CLOSET AND UNDER THE STAIRS MUST MEET THE FOLLOWING REQUIREMENTS:

A. THIS ENCLOSURE SHALL BE JUST LARGE ENOUGH TO HOUSE THE EQUIPMENT AND SERVING CLEARANCE.

B. THE MECHANICAL SPACE SHALL BE A "CONDITIONED SPACE" NO OTHER USE IS PERMITTED. STORAGE IS NOT PERMITTED. (THE USE OF STORAGE WILL TRIGGER AUTOMATIC SPRINKLER SYSTEM'S COVERAGE) NOTE: FUEL-FIRED EQUIPMENT WILL ALSO TRIGGER AUTOMATIC SPRINKLER SYSTEM'S COVERAGE.

C. ADEQUATE HEADROOM AND CLEARANCE AREA IN FRONT OF THE MECHANICAL EQUIPMENT AS PER THE SPECIFICATION OF THE MECHANICAL EQUIPMENT FOR SERVING.

D. INTER-CONNECTED SMOKE ALARM WILL BE REQUIRED AT MECHANICAL EQUIPMENT SPACE AT ATTIC LEVEL FOR EARLY DETECTION.

E. ACCESS HATCH AND ACCESS DOOR SHALL BE LARGE ENOUGH TO ACCOMMODATE THE SIZE OF THE MECHANICAL EQUIPMENT AND REPLACEMENT OF THE EQUIPMENT.

F. VENTILATION WILL BE REQUIRED AT THIS MECHANICAL SPACE/ENCLOSURE.

G. PLEASE PROVIDE A LIGHT WITH OCCUPANT SENSOR AT THIS MECHANICAL SPACE.

Right West

Left East

CRAWLSPACE FLOOR PLAN
SCALE 1/4"=1'-0"

Oxford Street

Curb

SITE COVERAGE & IMPERMEABLE PLAN
SCALE 1/8"=1'-0"

SITE COVERAGE SUMMARY	
ALLOWABLE - 45%	1780.65 SF
SITE AREA	3957.00 SF
PROPOSED:	
BLDG	1150.02
COVERED PORCH & DECK	76.00
GARAGE	515.28
TOTAL (PROPOSED)	1741.30 SF

SITE IMPERMEABLE SUMMARY	
ALLOWABLE - 60%	2374.20 SF
SITE AREA:	3957.00 SF
PROPOSED:	
BLDG	1150.02 SF
COVERED PORCH & DECK	76.00 SF
GARAGE	515.28 SF
CONC WALKWAY & STAIR #1	63.00 SF
CONC WALKWAY #2	166.30 SF
LANDSCAPE DECK #1	83.00 SF
PAVERS (30PGS)	120.00 SF
PAVERS (8PGS)	24.00 SF
LANDSCAPE DECK #2	112.00 SF
ASPHALT	64.50 SF
TOTAL (PROPOSED):	2374.10 SF

DATE	REMARKS	NO.
DRAWING REVISIONS / ISSUES		

DWG
DESIGN WORK GROUP LTD.

Suite 203, 5066 Kingsway
Burnaby, BC V5H 2E7
T/F: 604.681.8152
info@designworkgroup.biz
www.designworkgroup.biz

PROJECT
PROPOSED TWO FAMILY DWELLING AND 2-CAR GARAGE

3614 OXFORD STREET
VANCOUVER B.C.

DRAWING TITLE
SITE COVERAGE & IMPERMEABLE SITE PLAN & CRAWLSPACE PLAN

DRAWN	SM	DATE	MAR/2023
CHK'D	PR	JOB No.	.
DESIGN		DRAWING No.	
CHK'D	.		
SCALE	AS SHOWN		

This drawing is an instrument of service and remains the property of DWG Design Work Group Ltd. All information shown on this drawing is copyright material and is for use on the named project only. Information contained herein may not be used or reproduced in any way without written permission. All approved reproductions of this drawing shall bear the designated firm names.

Drawings shall not be scaled. The Contractor shall verify and be responsible for all dimensions, datum and elevations pertinent to executing the work. Discrepancies and variations shall be reported to the Designer before work is performed. In all cases the latest version of the contract documents shall be used on site. The Contractor shall ensure all previous versions are marked "Superseded" with reference to a revision number. All work shall conform to the current local Building Code, jurisdictional codes and local ordinances.

Do not construct with the information shown on this drawing until it is noted "Issued for Construction".

- BLDG. TO BE FULLY SPRINKLERED TO NFPA 13D
- CARBON MONOXIDE ALARM AND PHOTO ELECTRIC INTERCONNECTED SMOKE ALARM
 - EXHAUST FAN
 - FLOOR DRAIN
 - ROOF DRAIN

SG = TEMPERED/LAMINATED SAFETY GLASS

NOTE: ALL EXTERIOR DIMENSIONS ARE TO OUTSIDE FINISH SHEATHING OR CONC. FOUNDATION WALL. OVERALL DIMENSIONS ARE TO FACE OF CLADDING. ALL INTERIOR DIMENSIONS ARE TO FACE OF FINISH WALL.

AS PER VBBL 2019-REQUIREMENTS FOR STAIRS, HANDRAILS AND GUARDS TO COMPLY WITH ENTIRE SECTION OF 9.8.7, HANDRAILS AND 9.8.8, GUARDS

- RISE BETWEEN 125MM, 200MM (4.92", 7.87")
- RUN BETWEEN 295MM, 393MM (10.04", 13.58")
- MINIMUM 865MM (2'-10") LANDING/STAIRS WIDTH FOR LUH
- MINIMUM 914MM (3'-0") LANDING/STAIRS WIDTH FOR 1-2 FAMILY DWELLING
- MINIMUM 1950MM (6'-5") HEADROOM FOR STAIRS AND LANDING

AS PER VBBL 2019 9.10.19.3(1) SMOKE ALARMS SHALL BE INSTALLED SO THAT:

1) WITHIN DWELLING UNITS, SUFFICIENT SMOKE ALARMS SHALL BE INSTALLED SO THAT:

A) THERE IS AT LEAST ONE SMOKE ALARM INSTALLED ON EACH STOREY INCLUDING BASEMENTS, AND

B) ON ANY STOREY OF A DWELLING UNIT CONTAINING SLEEPING ROOM, A SMOKE ALARM IS INSTALLED

1) IN EACH SLEEPING ROOM, AND

2) IN A LOCATION BETWEEN THE SLEEPING ROOMS AND THE REMAINDER OF THE STOREY, AND IF THE SLEEPING ROOMS ARE SERVED BY A HALLWAY, THE SMOKE ALARM SHALL BE LOCATED IN THE HALLWAY.

2) A SMOKE ALARM REQUIRED BY SENTENCE (1) SHALL BE INSTALLED IN CONFORMANCE WITH CANULC-9553, "INSTALLATION OF SMOKE ALARMS."

3) SMOKE ALARMS REQUIRED IN ARTICLE 9.10.19.1 AND SENTENCE (1) SHALL BE INSTALLED ON OR NEAR THE CEILING.

AS PER 2019 VBBL 4 2019 BUILDING BYLAW 3.8.5.2 (4 9.5.5)

- INTERIOR DOORS TO BE PROVIDED A MINIMUM CLEAR OPENING OF (2'-0")
- EXTERIOR DOORS TO BE MINIMUM (3'-0")

CARBON MONOXIDE ALARMS WILL BE REQUIRED AS PER 9.32.4.2.

THE MECHANICAL EQUIPMENT IN THE CLOSET AND UNDER THE STAIRS MUST MEET THE FOLLOWING REQUIREMENTS:

A. THIS ENCLOSURE SHALL BE JUST LARGE ENOUGH TO HOUSE THE EQUIPMENT AND SERVICING CLEARANCE.

B. THE MECHANICAL SPACE SHALL BE A "CONDITIONED SPACE"; NO OTHER USE IS PERMITTED. STORAGE IS NOT PERMITTED. (THE USE OF STORAGE WILL TRIGGER AUTOMATIC SPRINKLER SYSTEM'S COVERAGE) NOTE: FUEL-FIRED EQUIPMENT WILL ALSO TRIGGER AUTOMATIC SPRINKLER SYSTEM'S COVERAGE.

C. ADEQUATE HEADROOM AND CLEARANCE AREA IN FRONT OF THE MECHANICAL EQUIPMENT AS PER THE SPECIFICATION OF THE MECHANICAL EQUIPMENT FOR SERVICING.

D. INTER-CONNECTED SMOKE ALARM WILL BE REQUIRED AT MECHANICAL EQUIPMENT SPACE AT ATTIC LEVEL FOR EARLY DETECTION.

E. ACCESS HATCH AND ACCESS DOOR SHALL BE LARGE ENOUGH TO ACCOMMODATE THE SIZE OF THE MECHANICAL EQUIPMENT AND REPLACEMENT OF THE EQUIPMENT.

F. VENTILATION WILL BE REQUIRED AT THIS MECHANICAL SPACE /ENCLOSURE.

G. PLEASE PROVIDE A LIGHT WITH OCCUPANT SENSOR AT THIS MECHANICAL SPACE.

MF Area and Perimeter

L = 89.7 ft
A = 502.9 sf

MF HDR Len
56.7 ft

MF HDR Len
6.0 ft

MF HDR Len
56.3 ft

MF HDR Len
56.3 ft

MF HDR Len
56.3 ft

MF HDR Len
56.3 ft

MF HDR Len
56.3 ft

MF HDR Len
56.3 ft

MF HDR Len
56.3 ft

MF HDR Len
56.3 ft

MF HDR Len
56.3 ft

FRONT UNIT:
574.51 SF

FRONT UNIT
TOTAL AREA:
1405.04 SF

FRONT UNIT:
574.51 SF

FRONT UNIT
TOTAL AREA:
1405.04 SF

FRONT UNIT:
574.51 SF

FRONT UNIT
TOTAL AREA:
1405.04 SF

FRONT UNIT:
574.51 SF

FRONT UNIT
TOTAL AREA:
1405.04 SF

FRONT UNIT:
574.51 SF

FRONT UNIT
TOTAL AREA:
1405.04 SF

FRONT UNIT:
574.51 SF

FRONT UNIT
TOTAL AREA:
1405.04 SF

FRONT UNIT:
574.51 SF

FRONT UNIT
TOTAL AREA:
1405.04 SF

FRONT UNIT:
574.51 SF

FRONT UNIT
TOTAL AREA:
1405.04 SF

FRONT UNIT:
574.51 SF

FRONT UNIT
TOTAL AREA:
1405.04 SF

FRONT UNIT:
574.51 SF

FRONT UNIT
TOTAL AREA:
1405.04 SF

FRONT UNIT:
574.51 SF

FRONT UNIT
TOTAL AREA:
1405.04 SF

FRONT UNIT:
574.51 SF

FRONT UNIT
TOTAL AREA:
1405.04 SF

FRONT UNIT:
574.51 SF

FRONT UNIT
TOTAL AREA:
1405.04 SF

FRONT UNIT:
574.51 SF

FRONT UNIT
TOTAL AREA:
1405.04 SF

FRONT UNIT:
574.51 SF

FRONT UNIT
TOTAL AREA:
1405.04 SF

FRONT UNIT:
574.51 SF

FRONT UNIT
TOTAL AREA:
1405.04 SF

FRONT UNIT:
574.51 SF

FRONT UNIT
TOTAL AREA:
1405.04 SF

FRONT UNIT:
574.51 SF

FRONT UNIT
TOTAL AREA:
1405.04 SF

FRONT UNIT:
574.51 SF

FRONT UNIT
TOTAL AREA:
1405.04 SF

FRONT UNIT:
574.51 SF

FRONT UNIT
TOTAL AREA:
1405.04 SF

FRONT UNIT:
574.51 SF

FRONT UNIT
TOTAL AREA:
1405.04 SF

FRONT UNIT:
574.51 SF

FRONT UNIT
TOTAL AREA:
1405.04 SF

FRONT UNIT:
574.51 SF

FRONT UNIT
TOTAL AREA:
1405.04 SF

FRONT UNIT:
574.51 SF

FRONT UNIT
TOTAL AREA:
1405.04 SF

FRONT UNIT:
574.51 SF

FRONT UNIT
TOTAL AREA:
1405.04 SF

FRONT UNIT:
574.51 SF

FRONT UNIT
TOTAL AREA:
1405.04 SF

FRONT UNIT:
571.76 SF

FRONT UNIT
TOTAL AREA:
1405.04 SF

FRONT UNIT:
571.76 SF

FRONT UNIT
TOTAL AREA:
1405.04 SF

FRONT UNIT:
571.76 SF

FRONT UNIT
TOTAL AREA:
1405.04 SF

FRONT UNIT:
571.76 SF

FRONT UNIT
TOTAL AREA:
1405.04 SF

FRONT UNIT:
571.76 SF

FRONT UNIT
TOTAL AREA:
1405.04 SF

FRONT UNIT:
571.76 SF

FRONT UNIT
TOTAL AREA:
1405.04 SF

FRONT UNIT:
571.76 SF

FRONT UNIT
TOTAL AREA:
1405.04 SF

FRONT UNIT:
571.76 SF

FRONT UNIT
TOTAL AREA:
1405.04 SF

FRONT UNIT:
571.76 SF

FRONT UNIT
TOTAL AREA:
1405.04 SF

FRONT UNIT:
571.76 SF

FRONT UNIT
TOTAL AREA:
1405.04 SF

FRONT UNIT:
571.76 SF

FRONT UNIT
TOTAL AREA:
1405.04 SF

FRONT UNIT:
571.76 SF

FRONT UNIT
TOTAL AREA:
1405.04 SF

FRONT UNIT:
571.76 SF

FRONT UNIT
TOTAL AREA:
1405.04 SF

FRONT UNIT:
571.76 SF

FRONT UNIT
TOTAL AREA:
1405.04 SF

FRONT UNIT:
571.76 SF

FRONT UNIT
TOTAL AREA:
1405.04 SF

FRONT UNIT:
571.76 SF

FRONT UNIT
TOTAL AREA:
1405.04 SF

FRONT UNIT:
571.76 SF

FRONT UNIT
TOTAL AREA:
1405.04 SF

FRONT UNIT:
571.76 SF

FRONT UNIT
TOTAL AREA:
1405.04 SF

FRONT UNIT:
571.76 SF

FRONT UNIT
TOTAL AREA:
1405.04 SF

FRONT UNIT:
571.76 SF

FRONT UNIT
TOTAL AREA:
1405.04 SF

FRONT UNIT:
571.76 SF

FRONT UNIT
TOTAL AREA:
1405.04 SF

FRONT UNIT:
571.76 SF

FRONT UNIT
TOTAL AREA:
1405.04 SF

FRONT UNIT:
571.76 SF

FRONT UNIT
TOTAL AREA:
1405.04 SF

FRONT UNIT:
571.76 SF

FRONT UNIT
TOTAL AREA:
1405.04 SF

FRONT UNIT:
571.76 SF

FRONT UNIT
TOTAL AREA:
1405.04 SF

FRONT UNIT:
571.76 SF

FRONT UNIT
TOTAL AREA:
1405.04 SF

FRONT UNIT:
571.76 SF

FRONT UNIT
TOTAL AREA:
1405.04 SF

FRONT UNIT:
571.76 SF

FRONT UNIT
TOTAL AREA:
1405.04 SF

UF Area and Perimeter

L = 89.7 ft
A = 502.8 sf

L = 89.7 ft
A = 502.8 sf

L = 89.7 ft
A = 502.8 sf

L = 89.7 ft
A = 502.8 sf

L = 89.7 ft
A = 502.8 sf

L = 89.7 ft
A = 502.8 sf

L = 89.7 ft
A = 502.8 sf

L = 89.7 ft
A = 502.8 sf

L = 89.7 ft
A = 502.8 sf

L = 89.7 ft
A = 502.8 sf

UF Area and Perimeter

L = 89.7 ft
A = 502.8 sf

L = 89.7 ft
A = 502.8 sf

L = 89.7 ft
A = 502.8 sf

L = 89.7 ft
A = 502.8 sf

L = 89.7 ft
A = 502.8 sf

L = 89.7 ft
A = 502.8 sf

L = 89.7 ft
A = 502.8 sf

L = 89.7 ft
A = 502.8 sf

L = 89.7 ft
A = 502.8 sf

L = 89.7 ft
A = 502.8 sf

Left
East

Left
East

Left
East

Left
East

Left
East

Left
East

Left
East

Left
East

Left
East

MAIN FLOOR PLAN
SCALE 1/4"=1'-0"

1150.02 SF
SOFT CALCULATED TO OUTER MOST CLADDING

Rear
South

NO DUCTING ALLOWED ON EXTERIOR WALL WHICH WILL REDUCE THE INSULATION VALUE OF THE WALL. PROVIDE ADDITIONAL SERVICE WALL AS REQUIRED. GC TO COORDINATE W/ FRAMER AND MECHANICAL CONTRACTOR.

MECHANICAL SYSTEM:
HEAT PUMP (HEATING & COOLING),
HRV, ELEC. HWT

ENTIRE BUILDING TO BE SPRINKLERED TO NFPA 13-D

SECOND FLOOR PLAN
SCALE 1/4"=1'-0"

1187.02 SF
SOFT CALCULATED TO OUTER MOST CLADDING

DATE	REMARKS	NO.
DRAWING REVISIONS / ISSUES		

DWG
DESIGN WORK GROUP LTD.

Suite 203, 5066 Kingsway
Burnaby, BC V5H 2E7
T/F: 604.681.8152
info@designworkgroup.biz
www.designworkgroup.biz

PROJECT

PROPOSED TWO
FAMILY DWELLING
AND 2-CAR GARAGE

3614 OXFORD STREET
VANCOUVER B.C.

DRAWING TITLE
MAIN & SECOND FLOOR PLANS

DRAWN	SM	DATE	MAR/2023
CHK'D	PR	JOB No.	
DESIGN		DRAWING No.	
CHK'D			A4
SCALE	AS SHOWN		

This drawing is an instrument of service and remains the property of DESIGN WORK GROUP. All information shown on this drawing is copyright material and is for use on the named project only. Information contained herein may not be used or reproduced in any way without written permission. All approved reproductions of this drawing shall bear the designated firm names.

Drawings shall not be scaled. The Contractor shall verify and be responsible for all dimensions, datum and elevations pertinent to executing the work. Discrepancies and variations shall be reported to the Designer before work is performed. In all cases the latest version of the contract documents shall be used on site. The contractor shall ensure all previous versions are marked "Superseded" with reference to a revision number. All work shall conform to the current local Building Code, jurisdictional codes and local ordinances.

Do not construct with the information shown on this drawing until it is noted "Issued for Construction".

- BLDG. TO BE FULLY SPRINKLERED TO NFPA 13D
- CARBON MONOXIDE ALARM AND PHOTO
 - ELECTRIC INTERCONNECTED SMOKE ALARM
 - EXHAUST FAN
 - FLOOR DRAIN
 - ROOF DRAIN

SG = TEMPERED/LAMINATED SAFETY GLASS

NOTE: ALL EXTERIOR DIMENSIONS ARE TO OUTSIDE FLYWOOD SHEATHING OR CONC. FOUNDATION WALL. OVERALL DIMENSIONS ARE TO FACE OF CLADDING. ALL INTERIOR DIMENSIONS ARE TO FACE OF FINISH WALL.

AS PER V.B.C. 2019 REQUIREMENTS FOR STAIRS, HANDRAILS AND GUARDS TO COMPLY WITH ENTIRE SECTIONS OF 9.8.7, HANDRAILS AND 9.8.8 GUARDS

- RISE BETWEEN 255MM (202MM (4.92"), 7.81")
- RUN BETWEEN 255MM, 355MM (10.04"), (3.98")
- MINIMUM 865MM (2'-10") LANDING/STAIRS WIDTH FOR LULH
- MINIMUM 914MM (3'-0") LANDING/STAIRS WIDTH FOR 1-2 FAMILY DWELLING
- MINIMUM 1850MM (6'-1") HEADROOM FOR STAIRS AND LANDING

AS PER V.B.C. 2019 9.10.13.1) SMOKE ALARMS SHALL BE INSTALLED SO THAT:

1) WITHIN DWELLING UNITS, SUFFICIENT SMOKE ALARMS SHALL BE INSTALLED SO THAT:

A) THERE IS AT LEAST ONE SMOKE ALARM INSTALLED ON EACH STOREY INCLUDING BASEMENTS, AND

B) ON ANY STOREY OF A DWELLING UNIT CONTAINING SLEEPING ROOM, A SMOKE ALARM IS INSTALLED

1) IN EACH SLEEPING ROOM, AND

1) IN A LOCATION BETWEEN THE SLEEPING ROOMS AND THE REMAINDERS OF THE STOREY, AND IF THE SLEEPING ROOMS ARE SERVED BY A HALLWAY, THE SMOKE ALARM SHALL BE LOCATED IN THE HALLWAY.

2) A SMOKE ALARM REQUIRED BY SENTENCE (1) SHALL BE INSTALLED IN CONFORMANCE WITH CANULC-5553 "INSTALLATION OF SMOKE ALARMS."

3) SMOKE ALARMS REQUIRED IN ARTICLE 9.10.13.1 AND SENTENCE (1) SHALL BE INSTALLED ON OR NEAR THE CEILING.

AS PER 2019 V.B.C. & 2019 BUILDING BYLAW 3.8.5.2 & 9.5.5.1

- INTERIOR DOORS TO BE PROVIDED A MINIMUM CLEAR OPENING OF (2'-10")
- EXTERIOR DOORS TO BE MINIMUM (3'-0")

CARBON MONOXIDE ALARMS WILL BE REQUIRED AS PER 9.32.4.2.

THE MECHANICAL EQUIPMENT IN THE CLOSET AND UNDER THE STAIRS MUST MEET THE FOLLOWING REQUIREMENTS:

A. THIS ENCLOSURE SHALL BE JUST LARGE ENOUGH TO HOUSE THE EQUIPMENT AND SERVING CLEARANCE.

B. THE MECHANICAL SPACE SHALL BE A "CONDITIONED SPACE"; NO OTHER USE IS PERMITTED. STORAGE IS NOT PERMITTED. (THE USE OF STORAGE WILL TRIGGER AUTOMATIC SPRINKLER SYSTEM'S COVERAGE) NOTE: FUEL-FIRED EQUIPMENT WILL ALSO TRIGGER AUTOMATIC SPRINKLER SYSTEM'S COVERAGE.

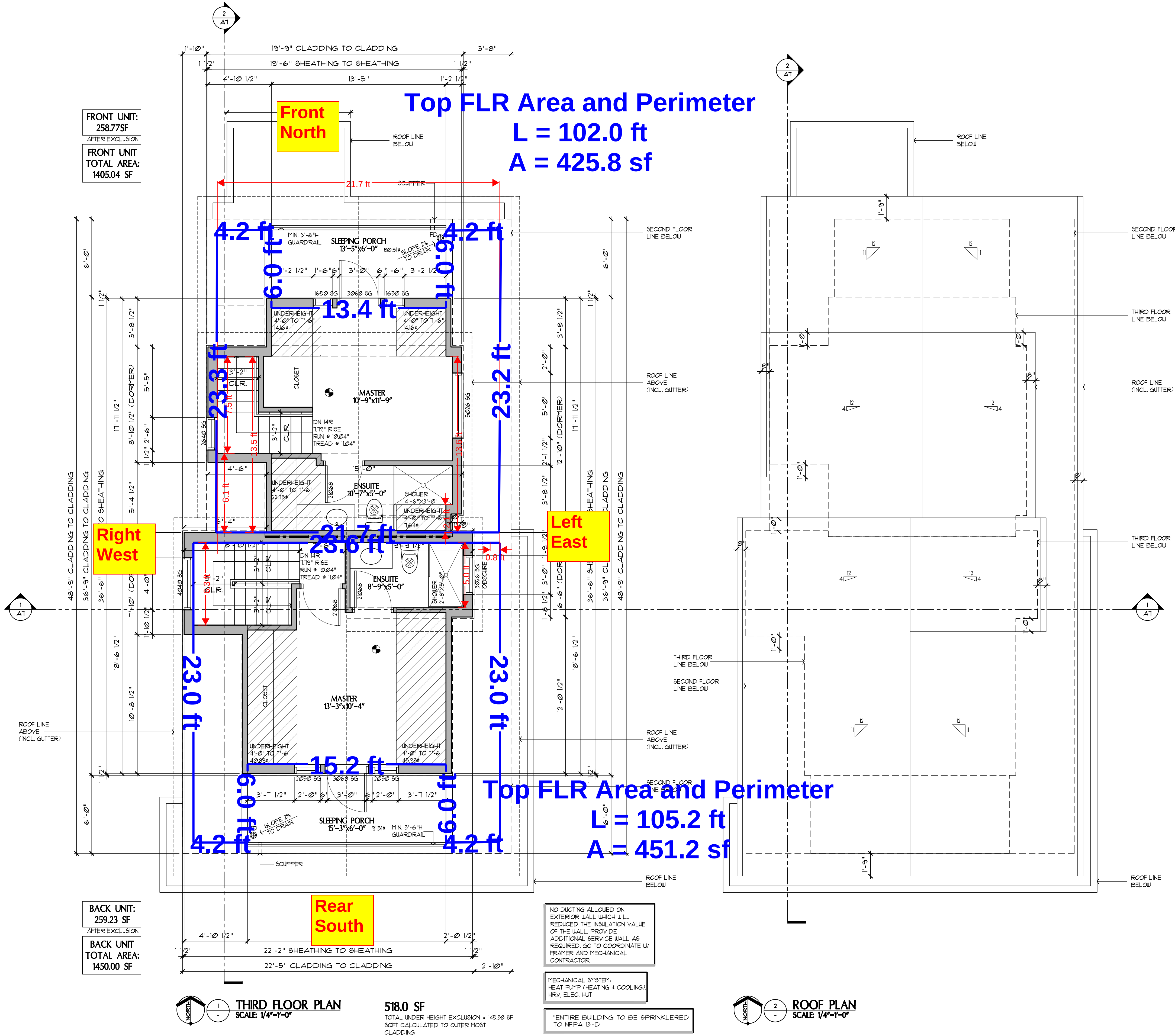
C. ADEQUATE HEADROOM AND CLEARANCE AREA IN FRONT OF THE MECHANICAL EQUIPMENT AS PER THE SPECIFICATION OF THE MECHANICAL EQUIPMENT FOR SERVING.

D. INTER-CONNECTED SMOKE ALARM WILL BE REQUIRED AT MECHANICAL EQUIPMENT SPACE AT ATTIC LEVEL FOR EARLY DETECTION.

E. ACCESS HATCH AND ACCESS DOOR SHALL BE LARGE ENOUGH TO ACCOMMODATE THE SIZE OF THE MECHANICAL EQUIPMENT AND REPLACEMENT OF THE EQUIPMENT.

F. VENTILATION WILL BE REQUIRED AT THIS MECHANICAL SPACE ENCLOSURE.

G. PLEASE PROVIDE A LIGHT WITH OCCUPANT SENSOR AT THIS MECHANICAL SPACE.



DATE	REMARKS	NO.
DRAWING REVISIONS / ISSUES		

DWG
DESIGN WORK GROUP LTD.

Suite 203, 5066 Kingsway
Burnaby, BC V5H 2E7
T/F: 604.681.8152
info@designworkgroup.biz
www.designworkgroup.biz

PROJECT

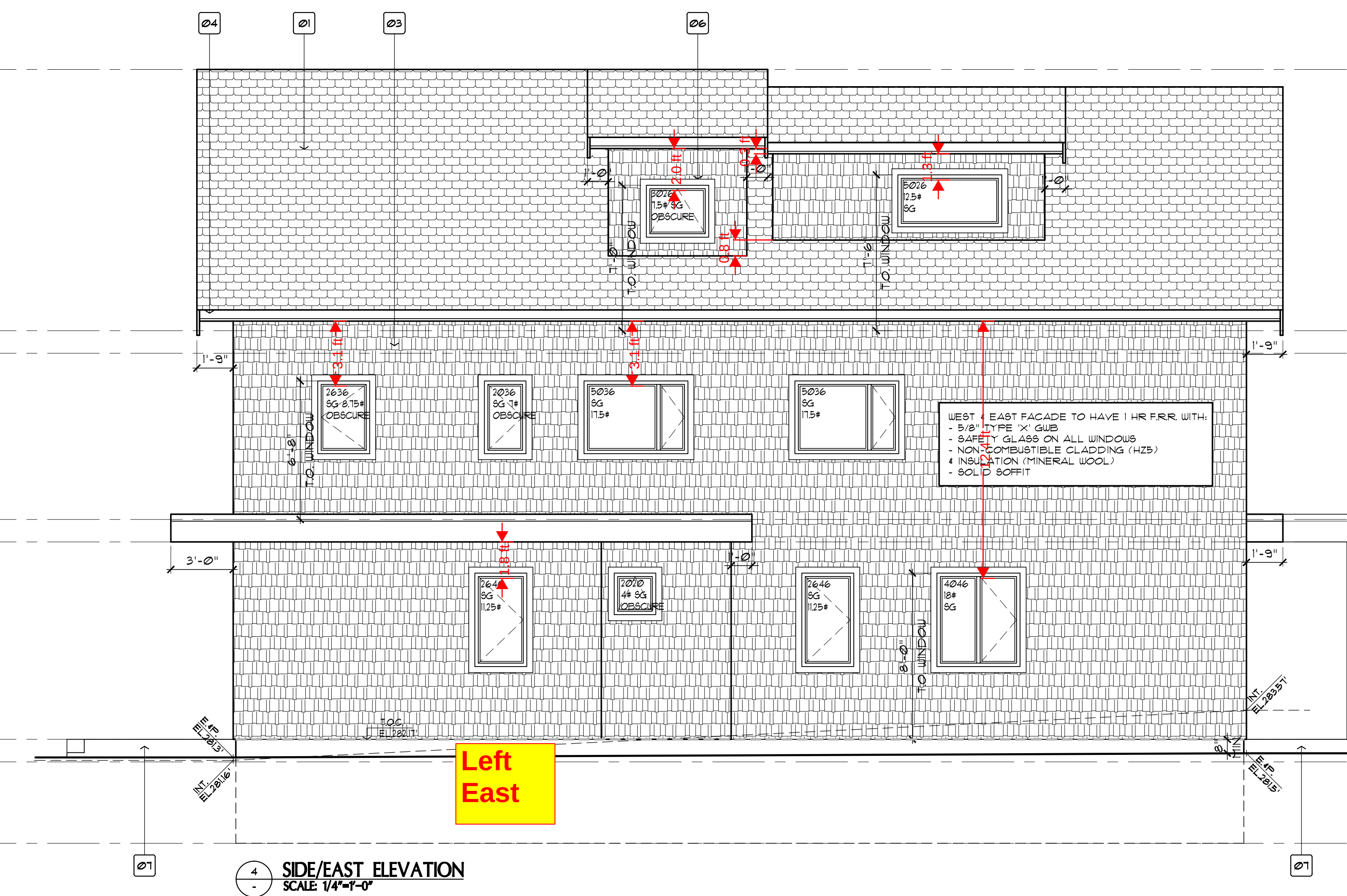
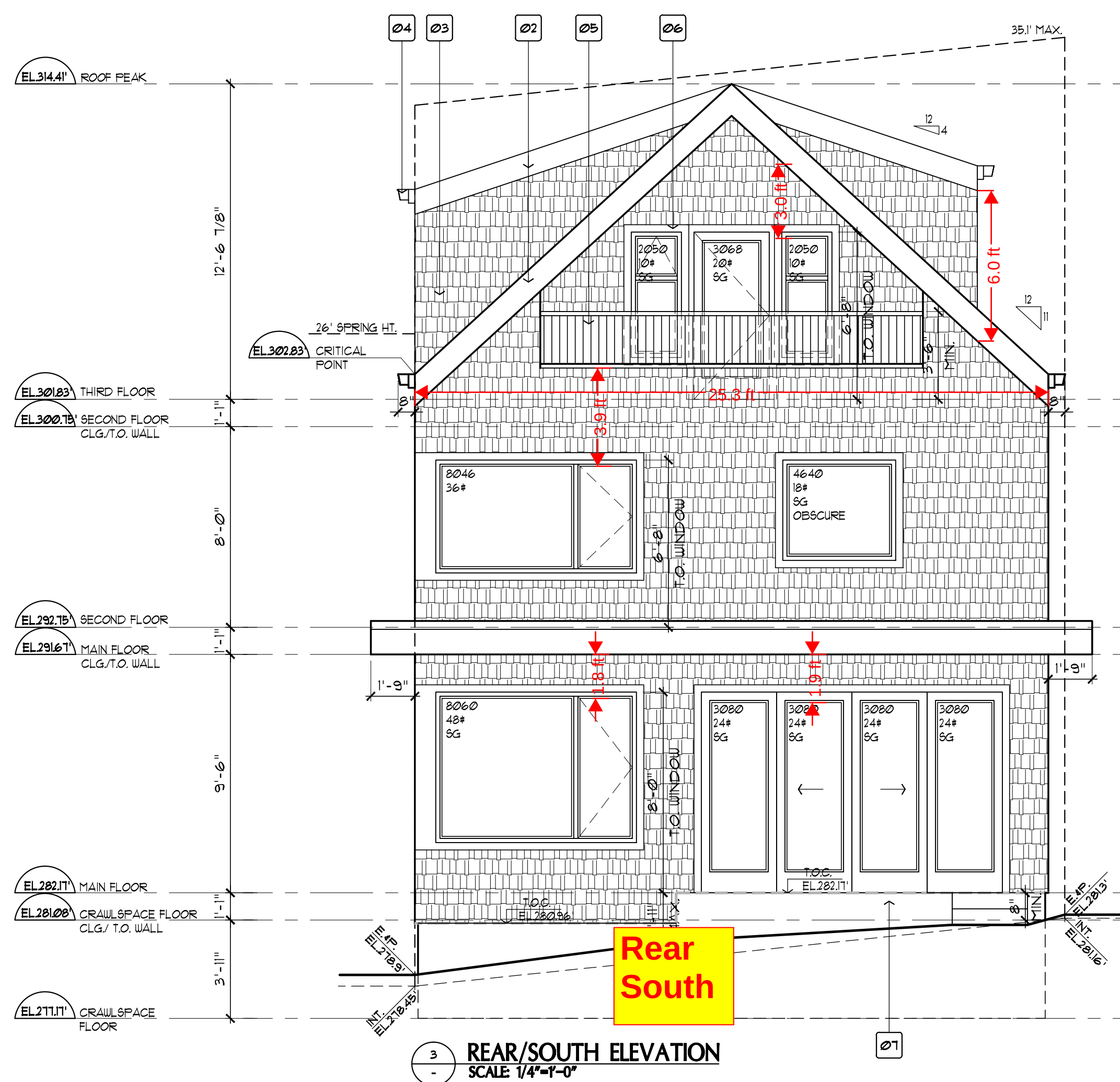
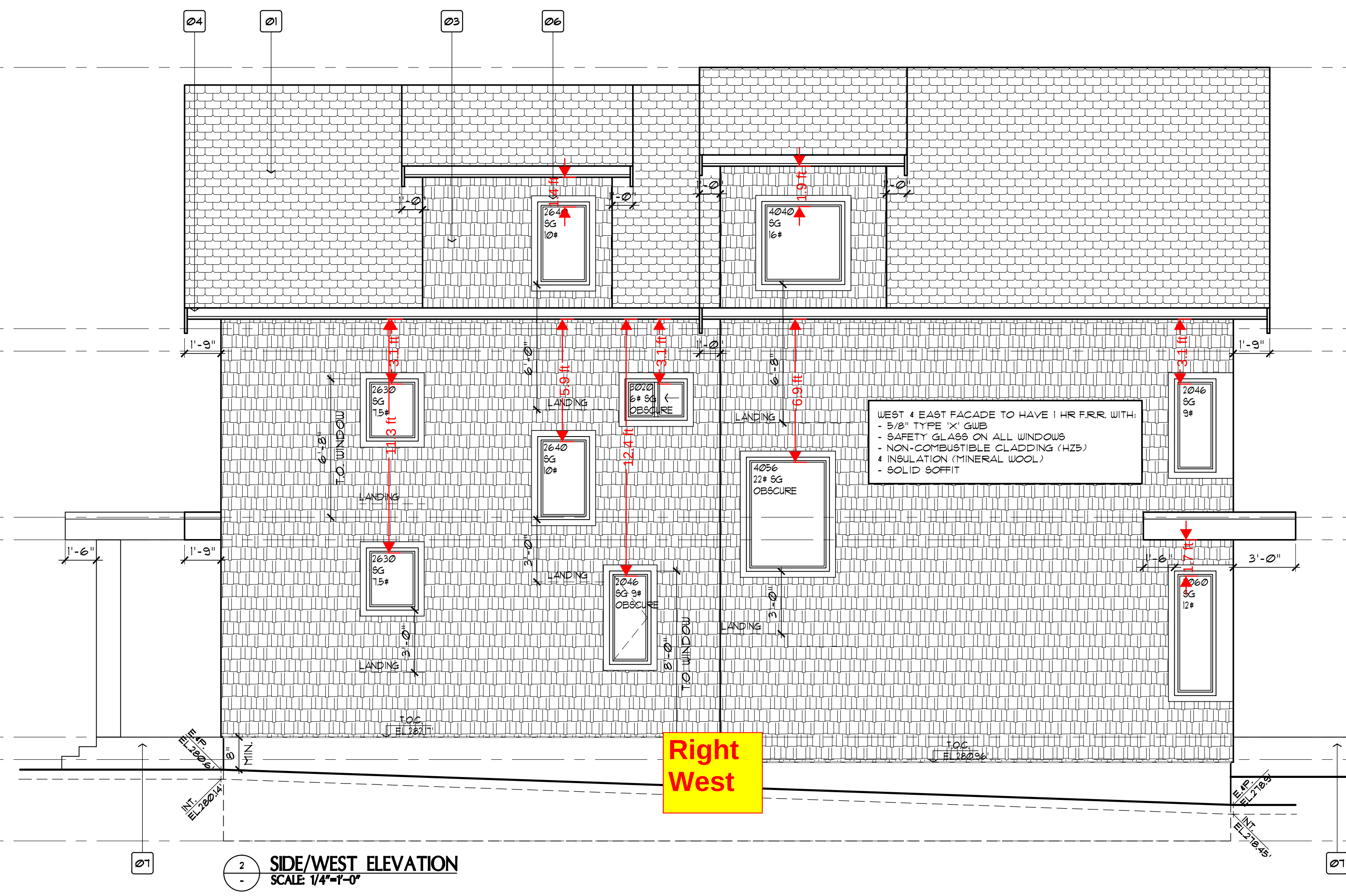
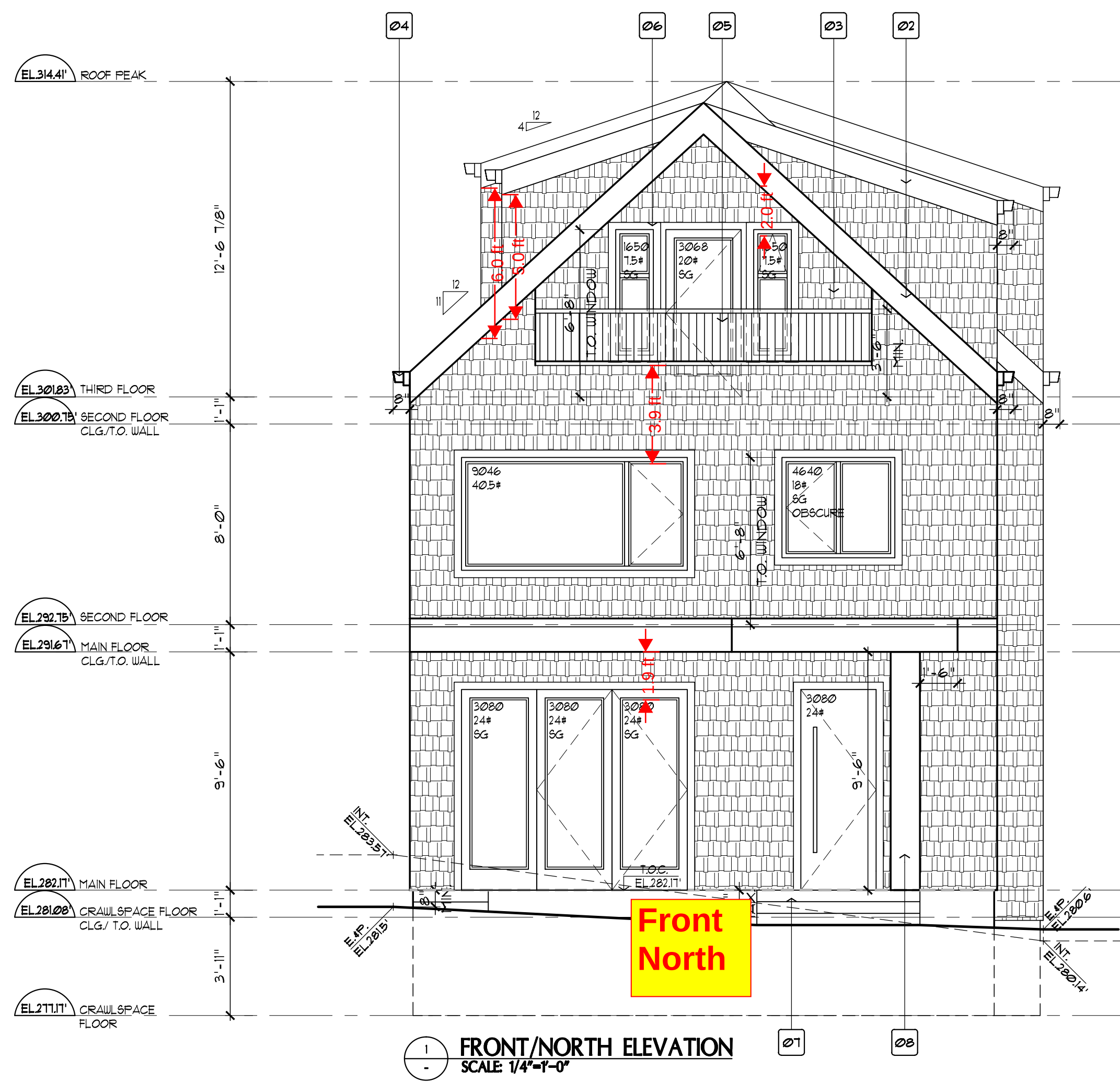
PROPOSED TWO FAMILY DWELLING AND 2-CAR GARAGE

3674 OXFORD STREET
VANCOUVER B.C.

DRAWING TITLE
THIRD FLOOR & ROOF PLANS

DRAWN	SM	DATE	MAR/2023
CHK'D	PT	JOB No.	.
DESIGN		DRAWING No.	
CHK'D			
SCALE	AS SHOWN		

A5



LEGEND:

- 01 ASPHALT ROOF SHINGLES
- 02 2X12 HARDIE FASCIA BOARD
- 03 HARDIE SHAKES
- 04 METAL GUTTER OVER 2X8 FASCIA BOARD
- 05 MIN. 3'-6" H ALUM. GUARDRAIL
- 06 VINYL FRAME WINDOW/CL 4" TRIM
- 07 CONC. LANDING & STAIRS
- 08 BUILT-UP WOOD COLUMN

	PROPOSED FSR 2855.04 SF			
	North (SF)	West (SF)	South (SF)	East (SF)
PATIO DOOR/WINDOW:				
THIRD	7.50	10.00	10.00	7.50
	20.00	16.00	20.00	12.50
	7.50		10.00	
SECOND	40.50	7.50	36.00	8.75
	18.00	10.00	18.00	7.00
		8.00		17.50
		22.00		17.50
		9.00		
MAIN	24.00	7.50	48.00	11.25
	24.00	9.00	24.00	4.00
	24.00	12.00	24.00	11.25
			24.00	18.00
			24.00	
TOTAL:	165.50	109.00	238.00	115.25 (SF)
PATIO DOOR/WINDOW TOTAL:				627.75 SF
GLASS OPENING TOTAL (DOOR & WINDOW): 627.75 SF				
Proposed patio door and window type: 1.4 W/(K.M2)				
Proposed skylight type: 2.4 W/(K.M2)				
SPATIAL SEPARATION SUMMARY				
	WEST	EAST		
LIMITING DISTANCE:	3.30 FT	3.91 FT		
EXPOSING BLDG FACE:	1239.95 SF	1168.73 SF		
PROPOSED AREA OF UNPROTECTED OPENING:	109.00 SF	115.25 SF		
ALLOWABLE AREA OF UNPROTECTED OPENING	124.00 SF (10%)	116.87 SF (10%)		

This drawing is an instrument of service and remains the property of DESIGN WORK GROUP. All information shown on this drawing is copyright material and is for use on the named project only. Information contained herein may not be used or reproduced in any way without written permission. All approved reproductions of this drawing shall bear the designated firm names.

Drawings shall not be scaled. The Contractor shall verify and be responsible for all dimensions, datum and elevations pertinent to executing the work. Discrepancies and variations shall be reported to the Designer before work is performed. In all cases the latest version of the contract documents shall be used on site. The contractor shall ensure all previous versions are marked "Superseded" with reference to a revision number. All work shall conform to the current local Building Code, jurisdictional codes and local ordinances.

Do not construct with the information shown on this drawing until it is noted "Issued for Construction".

DATE	REMARKS	NO.
DRAWING REVISIONS / ISSUES		

DWG
DESIGN WORK GROUP LTD.

Suite 203, 5066 Kingsway
Burnaby, BC V5H 2E7
T/F: 604.681.8152
info@designworkgroup.biz
www.designworkgroup.biz

PROJECT
PROPOSED TWO
FAMILY DWELLING
AND 2-CAR GARAGE

3614 OXFORD STREET
VANCOUVER B.C.

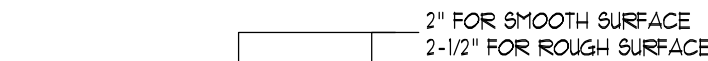
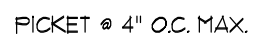
DRAWING TITLE
ELEVATIONS

DRAWN BY	DATE	MAR/2023
CHK'D BY	JOB No.	
DESIGN	DRAWING No.	
CHK'D		A6
SCALE: AS SHOWN		

TOC: XXXXX
NOTE: SHADED DASHED
LINES DENOTE TOP OF
CONCRETE FDN. WALL

SG = TEMPERED/LAMINATED SAFETY GLASS

ROOF SOFFITS LOCATED WITHIN 12M
OF A PROPERTY LINE SHALL HAVE NO
OPENINGS AND COMPLY WITH VBL
2019 9.10.15.5 (10)

DRAWING REVISIONS / ISSUES

DWG

Suite 203, 5066 Kingsway
Burnaby, BC V5H 2E7
T/F: 604.681.8152
info@designworkgroup.biz
www.designworkgroup.biz

PROJECT

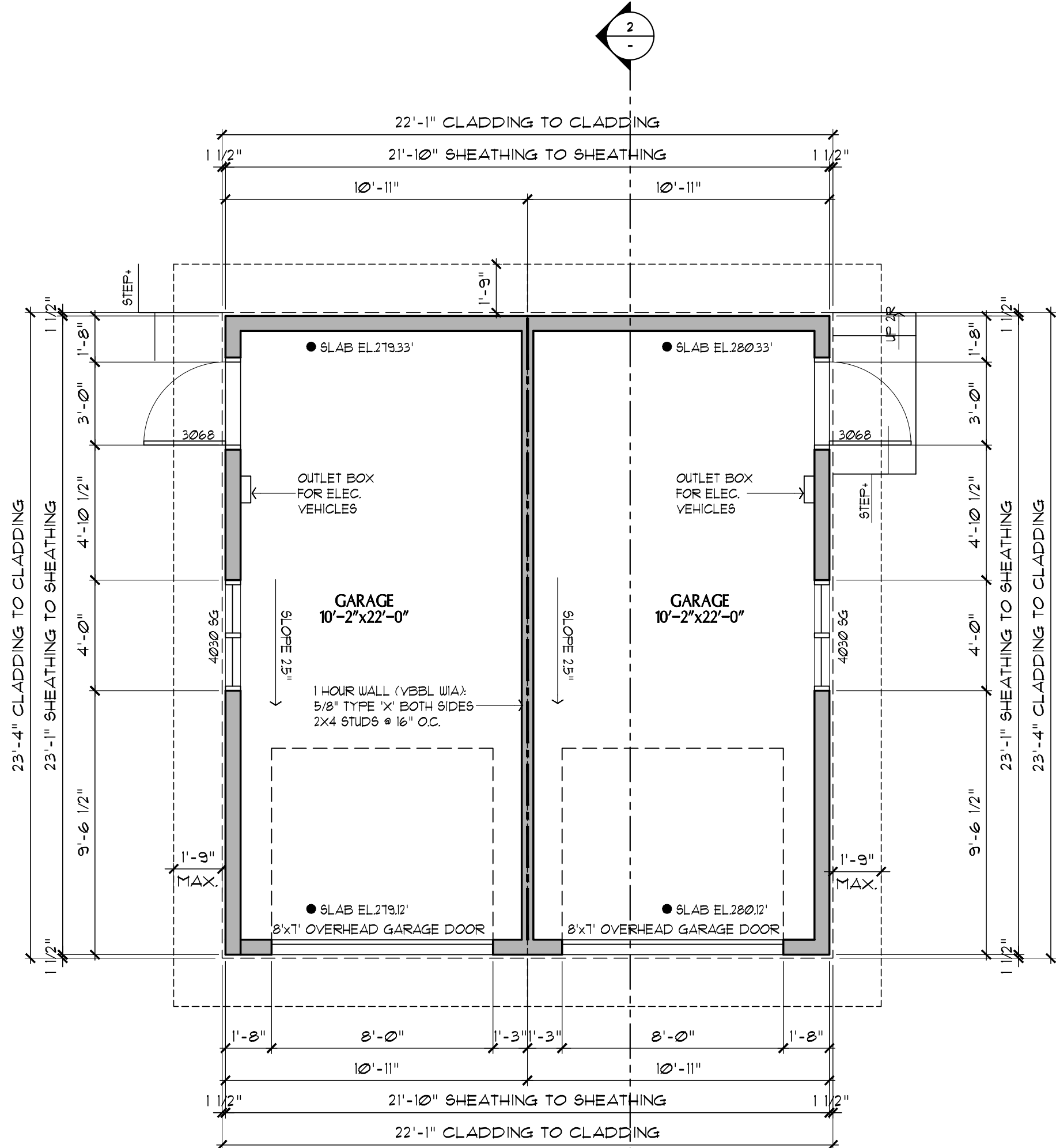
PROPOSED TWO
FAMILY DWELLING
AND 2-CAR GARAGE

B.C.

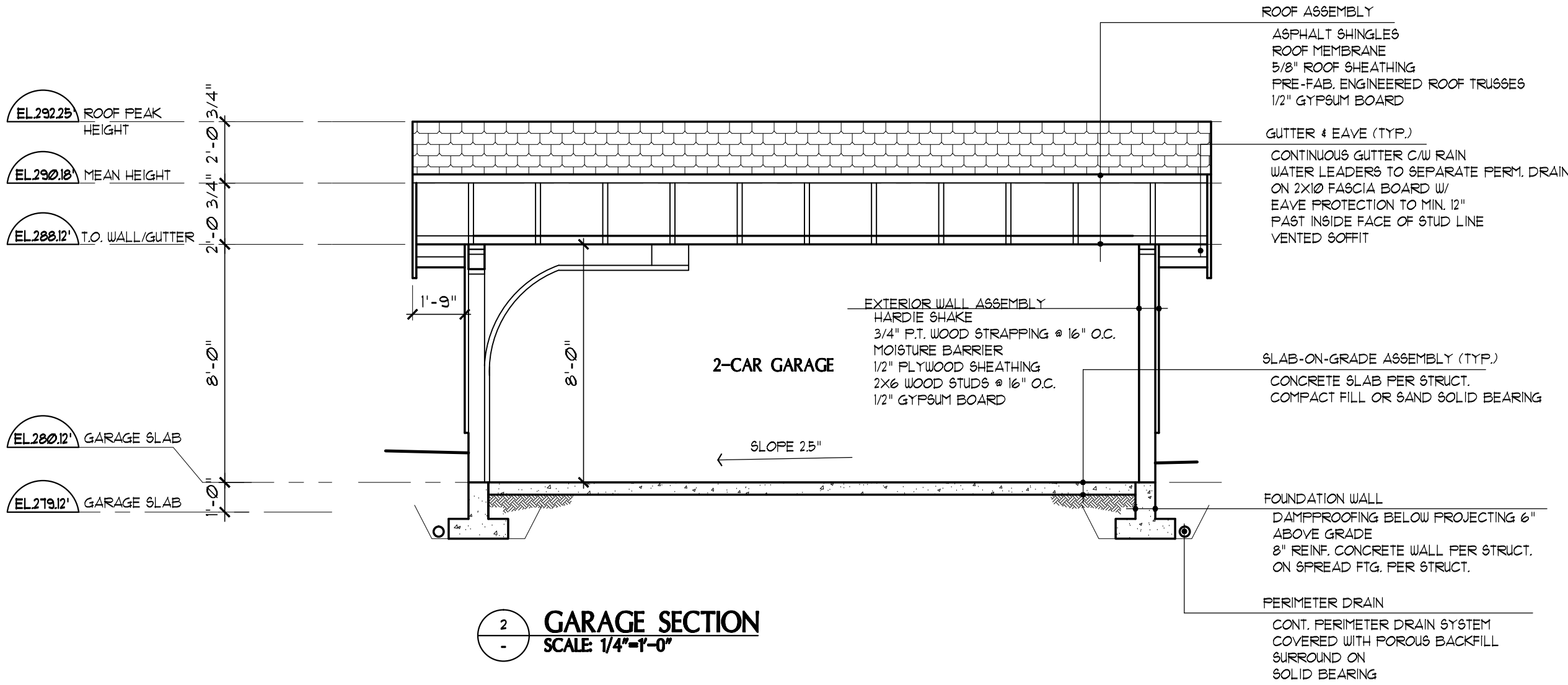
DRAWING TITLE

BUILDING SECTIONS &
TYP. DETAILS

DRAWN	SM	DATE	MAR/2023
CHK'D	PY	JOB No.	
DESIGN		DRAWING No.	
CHK'D			A7
SCALE	AS SHOWN		



GARAGE FLOOR PLAN 515.28 SF
SCALE 1/4"=1'-0"



GARAGE SECTION
SCALE 1/4"=1'-0"

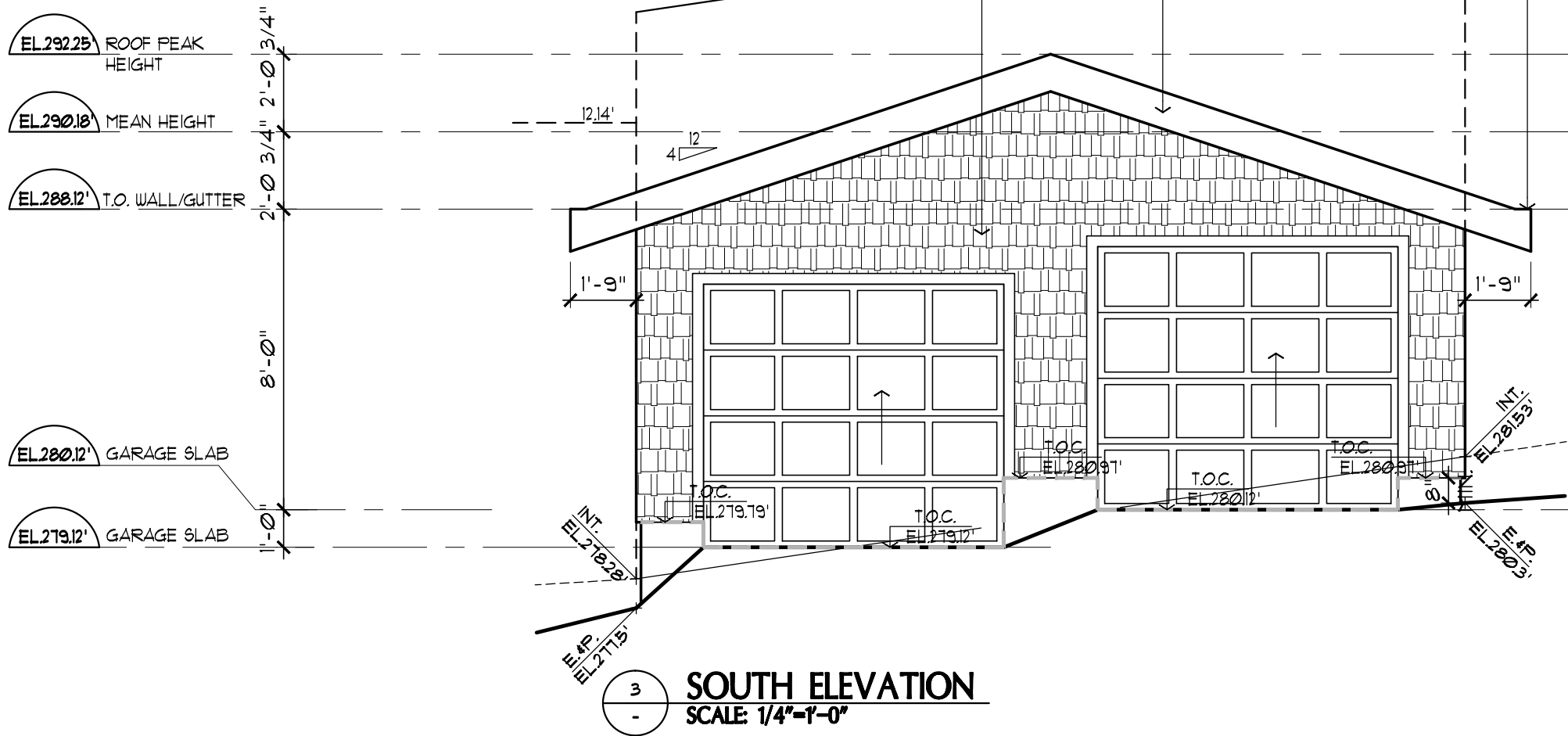
LEGEND:

- 01 ASPHALT ROOF SHINGLES
- 02 2X12 HARDIE FASCIA BOARD
- 03 HARDIE SHAKES
- 04 VINYL FRAME WINDOWS C/W 4" TRIM
- 05 METAL GUTTER OVER 2X10 FASCIA BOARD

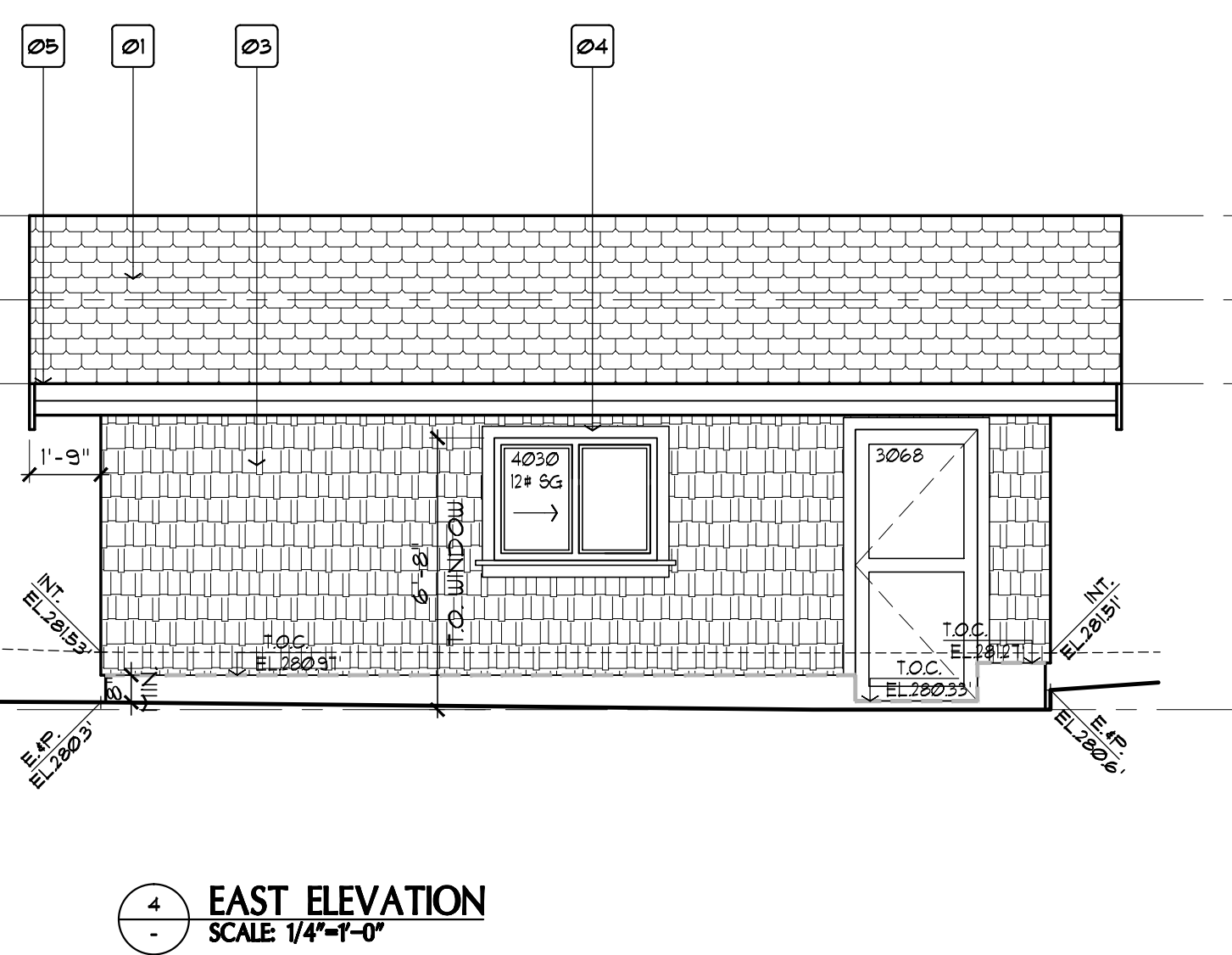
T.O.C. XXXXX
NOTE: SHADED DASHED LINES DENOTE TOP OF CONCRETE FDN. WALL

SG = TEMPERED/LAMINATED SAFETY GLASS

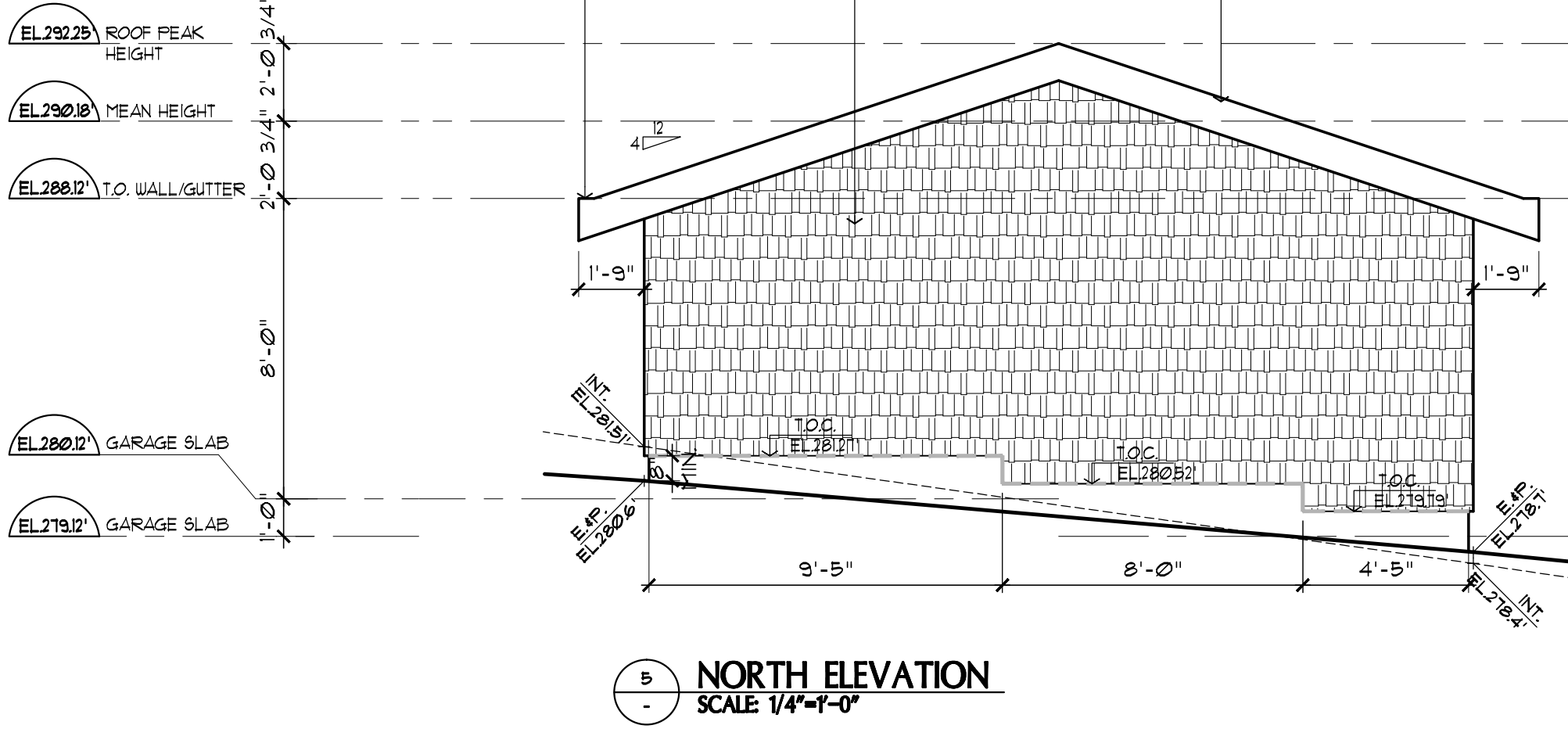
NOTE: ALL EXTERIOR DIMENSIONS ARE TO OUTSIDE PLYWOOD SHEATHING OR CONG. FOUNDATION WALL. ALL INTERIOR DIMENSIONS ARE TO FACE OF FINISH WALL.



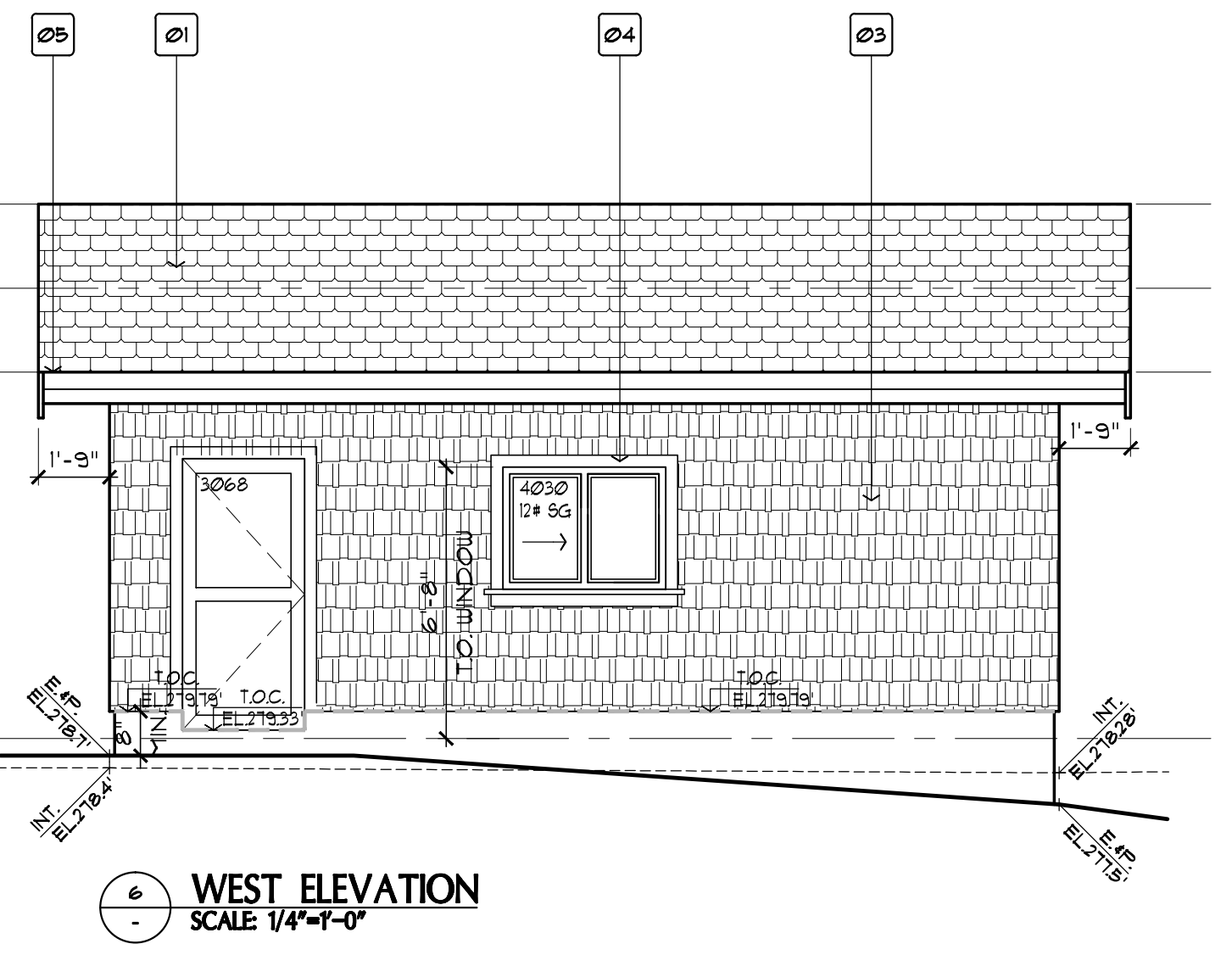
SOUTH ELEVATION
SCALE 1/4"=1'-0"



EAST ELEVATION
SCALE 1/4"=1'-0"



NORTH ELEVATION
SCALE 1/4"=1'-0"



WEST ELEVATION
SCALE 1/4"=1'-0"

This drawing is an instrument of service and remains the property of DESIGN WORK GROUP. All information shown on this drawing is copyright material and is for use on the named project only. Information contained herein may not be used or reproduced in any way without written permission. All approved reproductions of this drawing shall bear the designated firm names.

Drawings shall not be scaled. The Contractor shall verify and be responsible for all dimensions, datum and elevations pertinent to executing the work. Discrepancies and variations shall be reported to the Designer before work is performed. In all cases the latest version of the contract documents shall be used on site. The contractor shall ensure all previous versions are marked "superseded" with reference to a revision number. All work shall conform to the current local Building Code, jurisdictional codes and local ordinances.

Do not construct with the information shown on this drawing until it is noted "Issued for Construction".

DATE	REMARKS	NO.
DRAWING REVISIONS / ISSUES		

DWG
DESIGN WORK GROUP LTD.

Suite 203, 5066 Kingsway
Burnaby, BC V5H 2E7
T/F: 604.681.8152
info@designworkgroup.biz
www.designworkgroup.biz

PROJECT
PROPOSED TWO
FAMILY DWELLING
AND 2-CAR GARAGE

3674 OXFORD STREET
VANCOUVER B.C.

DRAWING TITLE
GARAGE PLAN, ELEVATIONS &
SECTION

DRAWN	BM	DATE	MAR/2023
CHK'D	PR	JOB No.	.
DESIGN		DRAWING No.	
CHK'D	.		
SCALE	AS SHOWN		

A8